

KIEN & HONG LAM'S RESIDENCE

13056 BROWN AVENUE, SAN JOSE, CA 95111

STRUCTURAL GENERAL NOTES

A. GENERAL

- ALL WORK SHALL CONFORM TO CURRENT 2022 CBC, CBC, CMC, CPC, 2022 NEC, 2022 CEC LAWS & ORDINANCES
- THE CONTRACTOR SHALL VERIFY & BE RESPONSIBLE FOR ALL DIMENSIONS & CONDITIONS AT THE JOB SITE AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN ACTUAL CONDITIONS & WHAT IS SHOWN ON THE DRAWINGS BEFORE PROCEEDING WITH THE WORK.
- ANY OMISSIONS OR CONFLICTS BETWEEN THE ARCHITECTURAL, STRUCTURAL & MECHANICAL DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE CITY INSPECTOR.
- SHOP DRAWINGS REQUIRED BY THE SPECIFICATIONS SHALL BE SUBMITTED TO THE ARCHITECT PRIOR TO FABRICATION, & ALLOW REASONABLE TIME FOR REVIEW AND APPROVAL BY THE STRUCTURAL ENGINEER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE BUILDING DURING THE CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE ADEQUATE SHORING, BRACING & GUYS IN ACCORDANCE WITH ALL NATIONAL, STATE AND LOCAL SAFETY ORDINANCES. ANY DEVIATIONS MUST BE APPROVED PRIOR TO ERECTION.
- ALL CONDITIONS NOT CLEARLY SHOWN OR DETAILED SHALL BE OF THE SAME TYPE & CHARACTER AS THOSE SHOWN FOR SIMILAR CONDITIONS.

B. FOUNDATION

- FOUNDATION EXCAVATIONS SHALL BE FREE OF LOOSE MATERIAL PRIOR TO THE PLACEMENT OF ANY REINFORCING STEEL OR CONCRETE.

C. CONCRETE

- ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI AT 28 DAYS.
- CONCRETE SHALL BE REGULAR WEIGHT HARD ROCK TYPE (150MCF) & AGGREGATE SHALL CONFORM TO ASTM C33 U.O.N.
- CEMENT SHALL CONFORM TO ASTM C150, TYPE 1 OR 2.
- PLACEMENT OF CONCRETE SHALL BE IN CONFORMANCE WITH ACI 301.
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- PROVIDE MINIMUM CLEAR COVER OF CONCRETE OVER REINFORCING AS FOLLOWS

D. REINFORCING STEEL

- ALL REINFORCING STEEL SHALL CONFORM TO ASTM SPECIFICATION A615 GRADE 60 FOR #5 AND LARGER BARS AND GRADE 40 FOR #3 & #4.
- ALL REINFORCING STEEL SHALL BE LAPPED AS NOTED BELOW.
#4: 24" FOR BOTTOM BARS AND 28" FOR TOP BARS; #5: 30" FOR BOTTOM BARS AND 35" FOR TOP BARS; #6: 40" FOR BOTTOM BARS AND 46" FOR TOP BARS AT SPLICES UNLESS OTHERWISE NOTED ON PLANS. SPLICES SHALL BE LOCATED AS DETERMINED IN THE PLANS. STAGGER ALL LAPS SPLICES.
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E. STRUCTURAL & MISC. STEEL

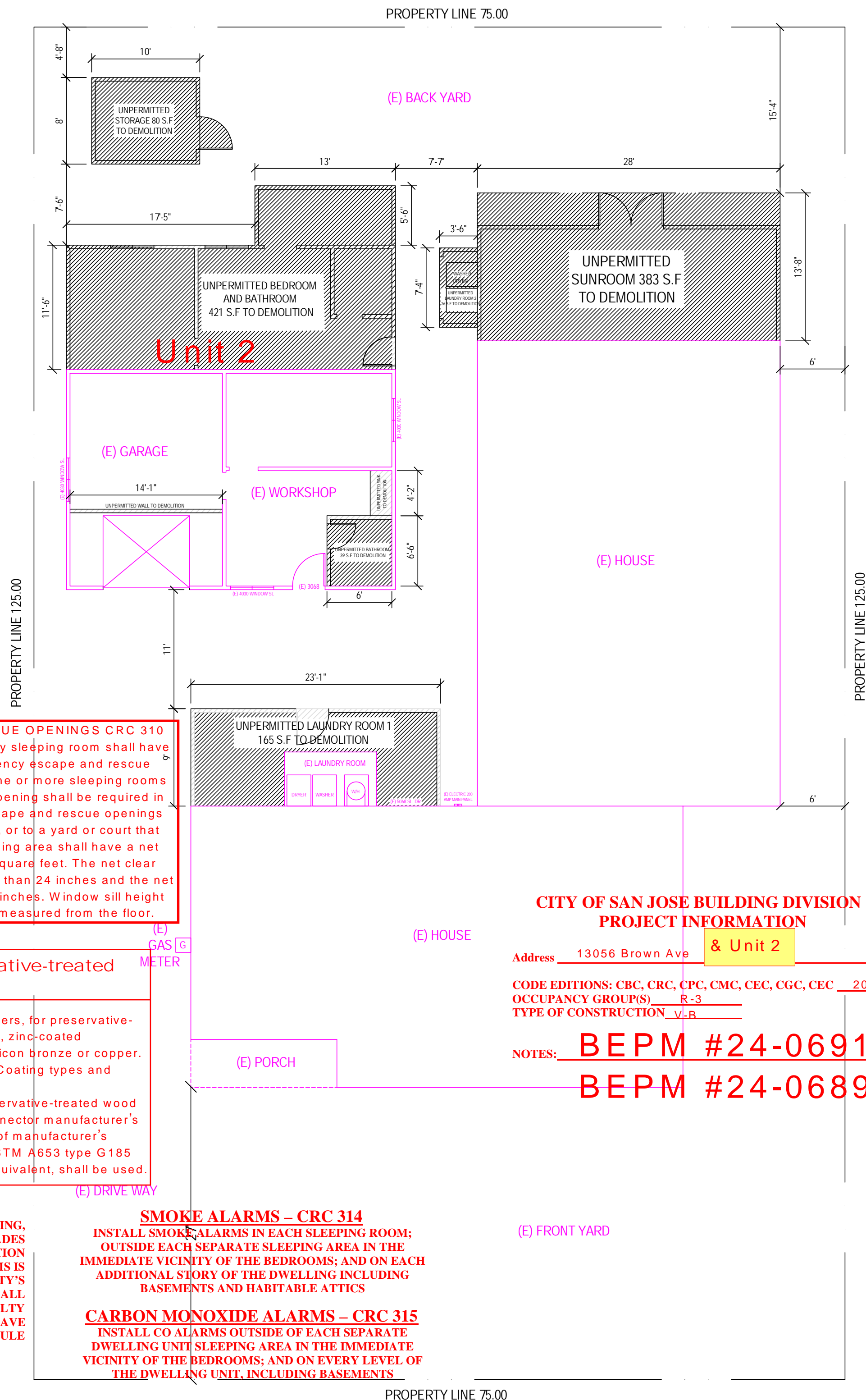
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- ALL WELDING SHALL BE CONTINUOUSLY INSPECTED BY AN INDEPENDENT INSPECTOR APPROVED BY THE BUILDING DEPARTMENT.

F. WOOD FRAME CONSTRUCTION

- GENERAL WOOD FRAMING: WOOD FRAMING THROUGHOUT THE BUILDING SHALL BE CONSTRUCTED IN ACCORDANCE WITH CALIFORNIA BUILDING CODE (2019) AND THE STANDARD PRACTICES RECOMMENDED BY AMERICAN INSTITUTE OF TIMBER CONSTRUCTION AND WCLA GRADING. FOR NAILING SEE SECTION J. BOLTS IN WOOD FRAMING SHALL BE STANDARD MACHINE BOLTS WITH STANDARD MALLEABLE IRON WASHERS.
- WOOD PLATES: BEARING DIRECTLY UPON CONCRETE SHALL BE P.T.D.F.
- UNLESS OTHERWISE NOTED ON DRAWINGS OR IN SPECIFICATIONS, FRAMING MEMBERS SHALL HAVE THE FOLLOWING GRADING:

LEGEND

- NEW WALL
- EXISTING WALL TO REMAIN
- UNPERMITTED TO DEMOLITION



CITY OF SAN JOSE BUILDING DIVISION PROJECT INFORMATION

Address 13056 Brown Ave & Unit 2
CODE EDITIONS: CBC, CRC, CPC, CMC, CEC, CGC, CEC 2022
OCCUPANCY GROUP(S) R-3
TYPE OF CONSTRUCTION V-B

NOTES: **BEPM #24-069173**
BEPM #24-068989

PROJECT DATA

OWNER: KIEN & HONG LAM
EXISTING USE: SINGLE FAMILY RESIDENCE
LOCATION: 13056 BROWN AVENUE, SAN JOSE, CA 95111
APN: 497-09-038
ZONING: R-3U
LOT GROSS SIZE: 9,375 S.F.
OCCUPANCY GROUP: R-3U
TYPE OF CONSTRUCTION: V-B
FIRE SPRINKLER: NONE
YEAR BUILT: 1951
ALLOWABLE FLOOR AREA: 4,219 S.F.
LOT AVERAGE SLOPE: (FLAT)
FLOOR AREA: EXISTING PROPOSAL TOTAL
DWELLING: 2,346 S.F. 128 S.F. 2,474 S.F.
FRONT PORCH AREA: 63 S.F. 63 S.F.
GARAGE / WORKSHOP: 618 S.F. 618 S.F.
TOTAL FOOTPRINT: 3,155 S.F.
FAR: 33.7%

SCOPE OF WORK

UNPERMITTED TO DEMOLITION ALL WALLS, DOORS, WINDOWS, SHEETROCK CEILING,
LAMINATE FLOORING, RAFTER, ELECTRICAL, PLUMBING, MECHANICAL

- UNPERMITTED LAUNDRY ROOM 165 S.F.
- UNPERMITTED BATHROOM 39 S.F. AND SINK AT (E) WORKSHOP
- UNPERMITTED WALL AND AT EXISTING GARAGE
- UNPERMITTED BEDROOM AND BATHROOM 421 S.F. IN THE BACK GARAGE & WORKSHOP
- UNPERMITTED SUNROOM 383 S.F. AND UNPERMITTED LAUNDRY ROOM 26 S.F.
- UNPERMITTED STORAGE 80 S.F.

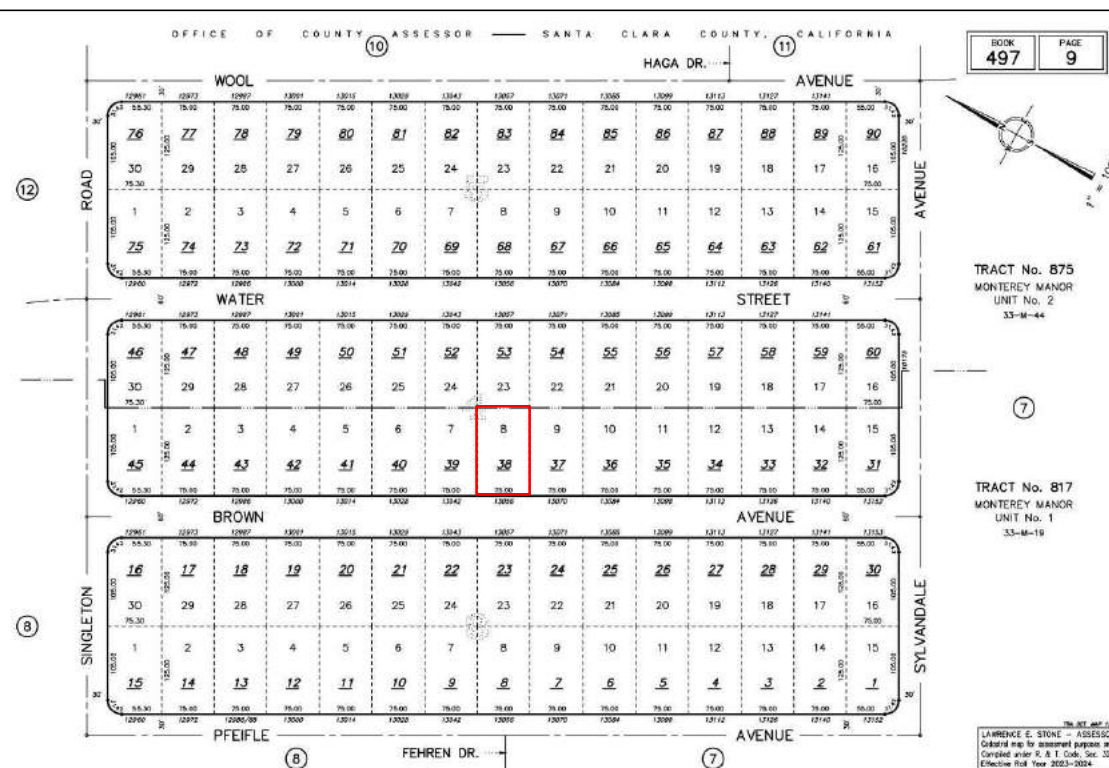
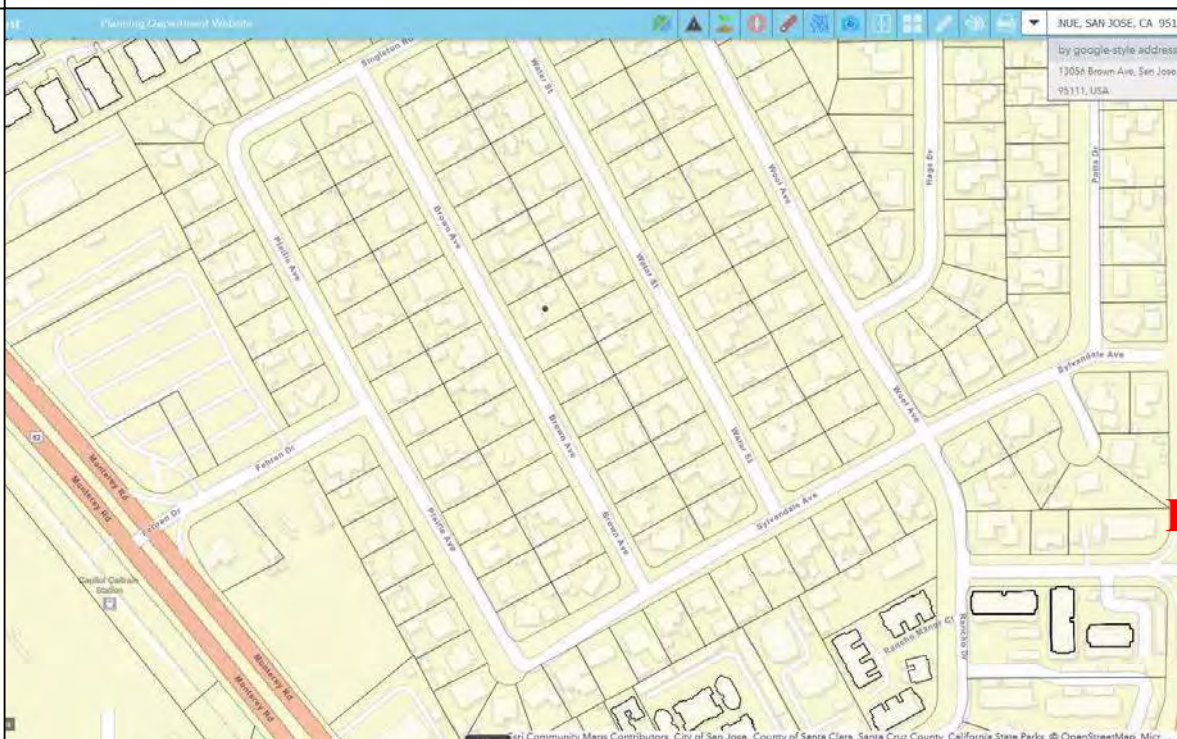
NEW SCOPE OF WORK APPLY TO PERMIT ADU

(E) GARAGE 618 S.F. + ADDITION IN THE BACK GARAGE 128 S.F.

TOTAL 746 S.F. TO BE NEW ADU UNIT

(INCLUDED: 3 BEDROOMS, 2 BATHROOMS, 1 LIVING ROOM AND 1 KITCHEN)

VICINITY MAP



STRUCTURAL GENERAL NOTES

G. NAIL SCHEDULE

- WOOD MEMBERS SHALL BE CONNECTED WITH NAILING INDICATED IN TABLE 2304.9.1 OF 2022 CBC UNLESS GREATER SIZES AND NUMBER OF NAILS ARE SHOWN OR NOTED ON DRAWINGS. NAILS EXPOSED TO WEATHER SHALL BE GALVANIZED. NAILS SHALL BE COMMON WIRE NAILS. HOLES FOR NAILS SHALL BE PROVIDED WHERE THE WOOD TENDS TO SPLIT. SPLIT WOOD MEMBERS SHOULD BE REPLACED AND REMOVED FROM THE JOB PROMPTLY. SHORT PLYWOOD NAILS FOR EQUIVALENT SHEAR VALUE MAY BE USED. SEE PLANS FOR NAIL SPACING. NAIL ROOF SHEATHING 8d @ 6" O.C. AT SUPPORTED EDGES. 8d @ 10 INCHES O.C. AT INTERMEDIATE SUPPORTS. FLOOR SHEATHING 8d @ 6" O.C. AT BOUNDARIES AND PANEL EDGES AND 8d @ 10" O.C. AT INTERMEDIATE SUPPORTS. PLYWOOD WALL SHEATHING SHALL BE NAILED PER SHEAR WALL SCHEDULE AT SHEAR WALLS, AND AT A MINIMUM OF 8d @ 6" O.C. ALL OTHER EDGES.

- AT PRESSURE TREATED LUMBER USE HOT-DIPPED GALVANIZED, STAINLESS STEEL, SILICON BRONZE, OR COPPER.

G. FIRE SPRINKLES

ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISION OFF THE CFC CHAPTER 14 AND OUR STANDARD DETAIL AND SPECIFICATION. SI-7

APPLICABLE CODES

CODE COMPLIANCE

ALL CONSTRUCTION SHALL CONFORM TO ALL GOVERNING LAWS, CODES AND ORDINANCES INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
-2022 CALIFORNIA BUILDING CODES: CBC, CMC, CPC, CFC & CEC, CRC.
-2022 CA ENERGY CODE
-CITY OF SAN JOSE MUNICIPAL CODE
-ALL LOCAL ORDINANCES

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NOTES

- Please note that a Building Permit cannot be issued until all clearances by all reviewing departments (listed above) have been approved on the project. Check the status of your permit by visiting www.sjpermits.org and contact the individual departments directly with any questions.
- Revised plans, when required, must be clouded with delta number with a revision mark at each location where revision has occurred and be noted that additional comments may be triggered once revised plan are reviewed.
- When comments cite a section of code and require a revision, correction or amendment to plans, required information shall be specifically & directly provided on plans. Generic references to code section(s) is not acceptable.



TOMMY DRAFTING

9743 WHITE PINE WAY, ELK GROVE, CA 95624
Email: helenguyen3689@gmail.com
Tel: (916) 526-5881 & (408) 876-8402

Date: JANUARY 2024

Scale: AS SHOWN

Drawn: LUYEN HONG NGUYEN

Signed: *They*

STAMPED FROM CITY

Reviewed for Code Compliance

City of San Jose, Building Division

☒ Building ☐ Electrical

☐ Plumbing ☐ Mechanical

Bana Divshali, P.E. (408) 535-8284

No. 24-06889 & 24-06913 Date: 4/15/24

PROJECT DATA - SITE PLAN

KIEN & HONG LAM'S RESIDENCE

(408) 334-1343 &

hongming3268@gmail.com

REVISION	DATE	BY
△	03-01-2024	HL

SHEET NO:

A-1

SITE PLAN UNPERMITTED - SCALE: 1 / 8" = 1'-0"

FLOOR PLAN NOTES:

1. ALL CONCRETE TO BE POURED ON UNDISTURBED SOIL.

2. ALL LUMBER IN CONTACT WITH CONCRETE SHALL BE FOUNDATION GRADE RWD OR PRESSURE TREATED.

3. ALL LUMBER USED IN CONSTRUCTION LOCATED NEARER THAN 8" TO EARTH SHALL BE F.G. RWD OR P.T.

4. PROVIDE SOLID BLOCKING FOR ALL PONY WALLS LESS THAN 14" HIGH

5. PROVIDE FIRESTOPS @ CONCEALED DRAFT OPENING, CEILING LINES, FLOOR LINES, FURRED AREAS, SUSPENDED CEILINGS, STAIR STRINGERS, SHOWERS, CHIMNEY ENCLOSURES, & MID HEIGHT OF WALLS OVER 10' IN HEIGHT.

6. VERIFY MIN. 22"x30" FLOOR ACCESS. ATTIC ACCESS WITH 30" CLEARING ABOVE OPENING.

7. DOORS, WINDOWS, & SHOWER DOORS WITHIN HAZARDOUS AREAS TO BE TEMPERED.

8. ALL POSTS, BEAMS & WALLS SUPPORTING THE FLOOR/ CEILING SHALL HAVE ONE-HOUR FIRE PROTECTION.

9. ALL NEW WINDOWS AND GLASS SLIDING DOOR SHALL BE LOW-E DUAL GLAZED U.N.O.

10. MATERIAL GRADE STAMPS WILL BE CHECKED ON FRAME INSPECTION.

11. ALL CONSTRUCTION SHALL COMPLY WITH THE 2019 EDITION OF THE CBC, CMC, CPC, CEC, CRC AND CFC AND THE 2022 CALIFORNIA ENERGY CODE.

12. CHANGES FROM THE APPROVED PLANS DURING CONSTRUCTION OTHER THAN 1.) CABINET CHANGES WHEN NOT BEING SUPPORTED ENTIRELY BY THE ROOF STRUCTURE. APPROVED PLAN. 2.) INTERIOR NON-STRUCTURAL WALL FINISHES: SHALL CAUSE PLAN APPROVAL AND CONSTRUCTION TO BE SUSPENDED. A NEW PLAN CHECK (FOR A NEW PLAN) SHOWING CHANGES WILL BE SUBMITTED FOR REVIEW AND APPROVAL THROUGH THE NORMAL PLAN CHECK PROCESS.

13. FIREBLOCKING WITH NON-COMBUSTIBLE MATERIAL SHALL BE PROVIDED IN OPENINGS AROUND VENTS, PIPES, DUCTS, FIREPLACES, AND SIMILAR OPENINGS PER CBC 708.2.1 (4).

14. PROVIDE SMOKE DETECTORS (HARDWIRED 110v W/BATT BACK-UP) IN EVERY BEDROOMS, THE HALL WAY TO THE BEDROOM, PROVIDE CARBON MONOXIDE SMOKE ALARM DETECTOR IN ALL SLEEPING ROOM.

15. IN EACH NEW BEDROOM, THERE IS AT LEAST ONE WINDOW, FOR EMERGENCY ESCAPE OR RESCUE: REQUIRE OPENING OF MINIMUM NET CLEAR AREA, 5.7 SQ. FT. HEIGHT 24", WIDTH 20", AND MAXIMUM FINISHED OPENING HEIGHT 44" ABOVE FINNISH FLOOR

16. NEW 3'X3' MIN. CONCRETE LANDING AT ALL NEW EXTERIOR DOOR. LANDING SHALL NOT BE LOWER THAN 7-1/2" FROM FLOOR LEVEL.

17. BATHROOM SLIDING DOOR MUST BE TEMPERED GLASS.

18. ALL NEW BEDROOM MUST BE AFCI CIRCUIT.

19. PRESSURE OR THERMOSTATIC MIXING VALVE AT THE SHOWERS AND TUBS, WHICH LIMIT WATER TEMPERATURE TO 120 DEGREES F

20. THE SHOWERS MUST HAVE INSIDE DEMENSION OF AT LEAST 30 INCHES, THE TOTAL FLOOR AREA OF A SHOWER MUST BE AT LIST 1,024 SQUARE INCHES. OPENING TO SHOWER MUST BE MIN. 24 INCHES WIDE, THE DOOR MUST BE TEMPERED GLASS.(SEE DETAILS)

ELECTRICAL NOTES:

MOTION SENSOR WITH INTEGRAL PHOTOCONTROL

2. ALL HARDWIRED LIGHTING IN BATHROOMS, GARAGES, LAUNDRY AND UTILITY ROOMS MUST BE HIGH EFFICACY OR CONTROLLED BY A MANUAL-ON MOTION SENSOR

3. ALL HARDWIRED LIGHTING IN OTHER ROOMS (HALLWAYS, DINING ROOMS, FAMILY ROOMS AND BEDROOMS) SHALL BE HIGH EFFICACY OR CONTROLLED BY A MANUAL-ON OCCUPANT SENSOR OR A DIMMER MUST CONTROL IT

4. ALL SWITCHES ON A MULTIPLE SWITCHED CIRCUIT SHALL BE CONTROLLED BY THE DIMMER SWITCH ON THAT CIRCUIT

5. ALL RECESSED FIXTURES SHALL BE LABELED AS BEING CERTIFIED TO HAVE A LEAKAGE RATING OF LESS THAN 2.0 AT 75 PASCAL

6. ALL HIGH EFFICACY FIXTURES AND NON-HIGH EFFICACY FIXTURES SHALL BE SWITCHED SEPARATELY

7. SMOKE DETECTOR SYSTEM SHALL BE HARD-WIRED, INTERCONNECTED TO SOUND SIMULTANIOUSLY AND EQUIPED WITH BATTERY BACK UP.

8. MIN. 50%OF WATTAGE OF LIGHTS IN KITCHEN SHALL BE HIGH EFFICACY AND THOSE THAT ARE NOT SHALL BE SWITCHED SEPARATELY

9. LIGHTS MOUNTED TO EXTERIOR OF BUILDING SHALL BE HIGH EFFICACY OR ON A PHOTO CONTROL/MOTION SENSOR COMBINATION

LAMP POWER RATING:	MINIMUM LAMP EFFICACY:
15 watts or less	40 lumens per watt
over 15 watts to 40 watts	50 lumens per watt
over 40 watts	60 lumens per watt

NOTES:

NOTE:
WATER RESISTANT GYPSUM BACKING BOARD SHALL NOT BE USED WHERE THERE WILL BE DIRECT EXPOSURE TO WATER, OR IN AREAS SUBJECT TO CONTINUOUS HIGH HUMINITY. R702.3.7.1

Note:
on plan the fire-resistance-rated floor/ceiling and wall assemblies shall extend to and be tight against the exterior wall, and wall assemblies shall extend from the foundation to the underside of the roof sheathing or rated floor/ceiling assembly.

ELECTRICAL LEGENDS

CEILING RECEPTACLE OUTLET

DUPLEX RECEPTACLE, MTD @ 12" U.O.N.

SINGLE OUTLET

220V OUTLET

WEATHERPROOF DUPLEX OUTLET W/GFGI

GFI DUPLEX OUTLET W/GROUND FAULT INTERRUPTER

DUPLEX RECEPTACLE, MTD@+12" U.O.N.

SPLIT WIRE WITH HALF SW/CONTROLLED SPECIAL PURPOSE

FLOOR DUPLEX RECEPTACLE OUTLET

CARBON MONOXIDE SMOKE DETECTOR W/BATTERY BACK UP

CEILING LIGHT

FLUORESCENT LIGHT

RECESSED CANISTER

FLOOR OUTLET (DBI)

SWITCH

3 WAY SWITCH

4 WAY SWITCH

DIMMER SWITCH

TIMER SWITCH

CEILING FAN

FUEL GAS

FAN TO OUTSIDE AIR

CARBON MONOXIDE SMOKE DETECTOR W/BATTERY BACK UP

INCANDESCENT LIGHT FIXTURE (CEILING)

WEATHERPROOF LIGHT FIXTURE

DISPOSAL

RECESSED LIGHT FIXTURE

FAN TO OUTSIDE AIR

CHIME

PUSH BUTTON

GAS RISER

GAS STUB

HORSE BID WITH BACKFLOW PREVENTATION DEVICE

HOSE BIBB

SHUT OFF VALVE

BELL / BUZZER

ELECTRICAL DISCONNECT

DECORATIVE ABOVE MIRROR BATHROOM LIGHT

CIRCUIT BREAKER

KEY

MOTION SENSOR

CHANDELIER

FLOOR SUPPLY AIR REGISTER

CEILING SUPPLY AIR REGISTER

FLOURESCENTLIGHT FIXUTE (SURFACE) SEE PLAN

CO DETECTORS U.L./SFM LISTED APPROVED

LEGEND

NEW WALL

EXISTING WALL TO REMAIN.

EXISTING WALL TO BE REMOVE

EXISTING OPENING TO BE ENCLOSED

EXISTING WINDOW TO REMAIN

EXISTING WINDOW TO BE ENCLOSED

EXISTING DOORS TO REMAIN

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Bana Divshali, P.E. (408) 535-8284
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13056 BROWN AVENUE,
SAN JOSE, CA 95111

REVISION	DATE	BY
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A-2

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- UNLESS OTHERWISE NOTED ON DRAWINGS OR IN SPECIFICATIONS, FRAMING MEMBERS SHALL HAVE THE FOLLOWING GRADING:

All parts of the structure shall be outside of easements. It is owner's responsibility to make sure building is placed outside all easements. Contractor to verify foot print of the building before trenching

5/8" TYPE X GYPSUM BOARD (ONE HOUR FIRE) SEE DETAIL

PLACE STRAW ROLLS AROUND CONSTRUCTION AREA, TYP.
CONTRACTOR SHALL GRADE LOT TO PREVENT DRAINAGE FROM CROSSING PROPERTY LINES, TYP.

HERS Verifications:

- Door air quality ventilation
- Kitchen range hood

Cooling System Verifications:

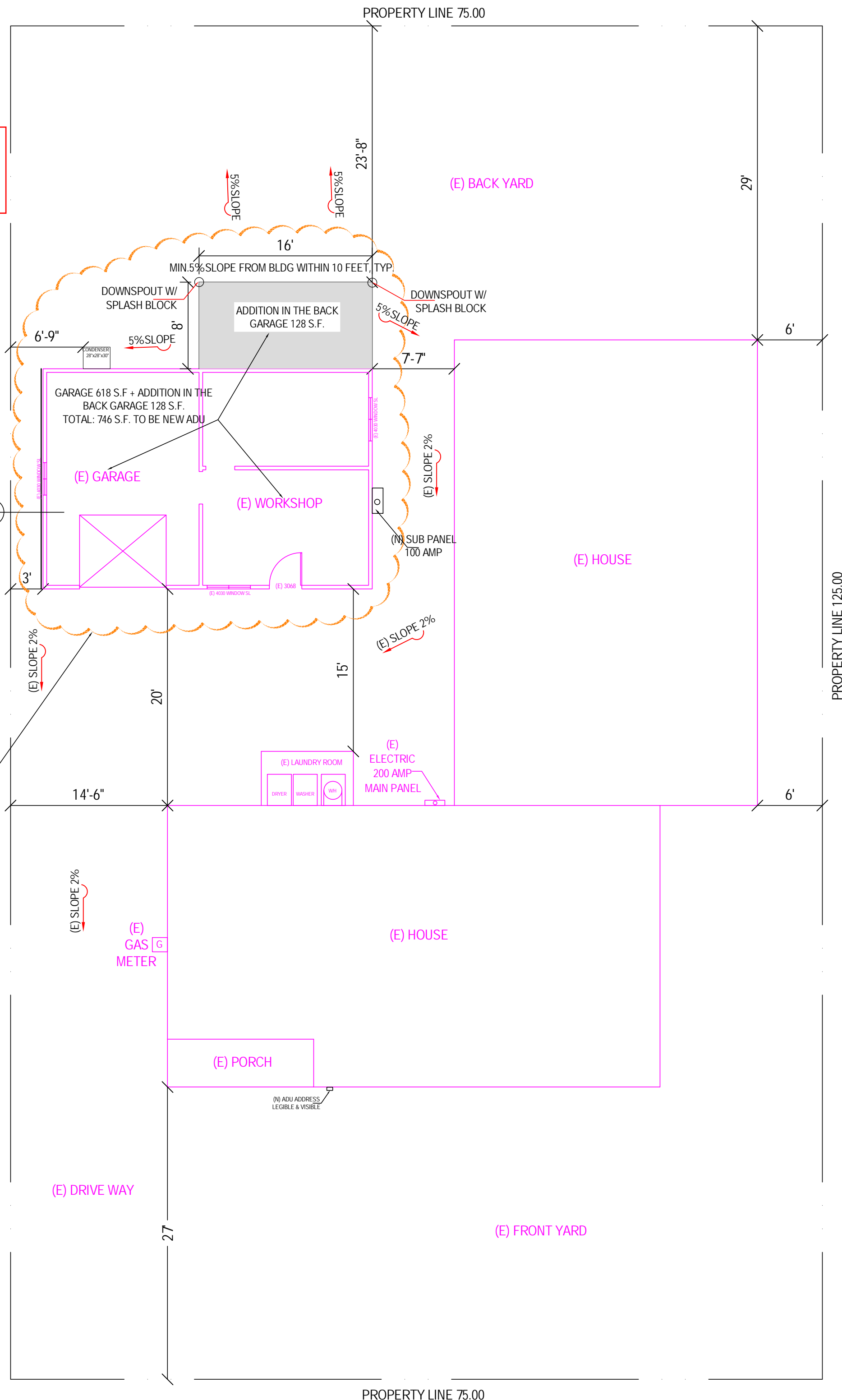
- Minimum Airflow
- Verified EER
- Verified SEER

Heating System Verifications:

- Fan Efficacy Watts/CFM
- Verified HSPF
- Verified heat pump rated heating capacity
- HVAC Distribution System Verifications:
- Duct leakage testing

FIRE NOTE:

Premises Identification - The address of the residence shall be provided and placed in position that is readily visible and legible from the street fronting the property. That this address sign should be minimum 4" high with 1/2" strike. Put a note on the plan and will be double checked during Fire inspection during the course of construction.



EXISTING SITE PLAN - SCALE: 1 / 8" = 1'-0"

PROJECT DATA

OWNER: KIEN & HONG LAM
EXISTING USE: SINGLE FAMILY RESIDENCE
LOCATION: 13056 BROWN AVENUE, SAN JOSE, CA 95111
APN: 497-09-038
ZONING: R3
LOT GROSS SIZE: 9,375 S.F.
OCCUPANCY GROUP: R-3U
TYPE OF CONSTRUCTION: V-B
FIRE SPRINKLER: NONE
YEAR BUILT: 1951
ALLOWABLE FLOOR AREA: 4,219 S.F.
LOT AVERAGE SLOPE: (FLAT)
FLOOR AREA: EXISTING PROPOSAL TOTAL
DWELLING: 2,346 S.F. 128 S.F. 2,474 S.F.
FRONT PORCH AREA: 63 S.F. 63 S.F.
GARAGE / WORKSHOP: 618 S.F. 618 S.F.
TOTAL FOOTPRINT: 3,155 S.F.
FAR: 33.7%

SCOPE OF WORK

UNPERMITTED TO DEMOLITION ALL WALLS, DOORS, WINDOWS, SHEETROCK CEILING,

LAMINATE FLOORING, RAFTER, ELECTRICAL, PLUMBING, MECHANICAL

- UNPERMITTED LAUNDRY ROOM 165 S.F.
- UNPERMITTED BATHROOM 39 S.F. AND SINK AT (E) WORKSHOP
- UNPERMITTED WALL AND AT EXISTING GARAGE
- UNPERMITTED BEDROOM AND BATHROOM 421 S.F. IN THE BACK GARAGE & WORKSHOP
- UNPERMITTED SUNROOM 383 S.F. AND UNPERMITTED LAUNDRY ROOM 26 S.F.
- UNPERMITTED STORAGE 80 S.F.

NEW SCOPE OF WORK APPL Y TO PERMIT ADU.

(E) GARAGE 618 S.F. + ADDITION IN THE BACK GARAGE 128 S.F.

TOTAL 746 S.F. TO BE NEW ADU UNIT

(INCLUDED: 3 BEDROOMS, 2 BATHROOMS, 1 LIVING ROOM AND 1 KITCHEN)

STRUCTURAL GENERAL NOTES

G. NAIL SCHEDULE

- WOOD MEMBERS SHALL BE CONNECTED WITH NAILING INDICATED IN TABLE 2304.9.1 OF 2022 CBC UNLESS GREATER SIZES AND NUMBER OF NAILS ARE SHOWN OR NOTED ON DRAWINGS: NAILS EXPOSED TO WEATHER SHALL BE GALVANIZED; NAILS SHALL BE COMMON WIRE NAILS; HOLES FOR NAILS SHALL BE PROVIDED WHERE THE WOOD TENDS TO SPLIT; SPLIT WOOD MEMBERS SHOULD BE REPLACED AND REMOVED FROM THE JOB PROMPTLY. SHORT PLYWOOD NAILS FOR EQUIVALENT SHEAR VALUE MAY BE USED. SEE PLANS FOR NAIL SPACING. NAIL ROOF SHEATHING 8d @ 6" O.C. AT SUPPORTED EDGES. 8d @ 10 INCHES O.C. AT INTERMEDIATE SUPPORTS. FLOOR SHEATHING 8d @ 6" O.C. AT BOUNDARIES AND PANEL EDGES AND 8d @ 10" O.C. AT INTERMEDIATE SUPPORTS. PLYWOOD WALL SHEATHING SHALL BE NAILED PER SHEAR WALL SCHEDULE AT SHEAR WALLS, AND AT A MINIMUM OF 8d @ 6" O.C. ALL OTHER EDGES.
- AT PRESSURE TREATED LUMBER USE HOT-DIPPED GALVANIZED, STAINLESS STEEL, SILICON BRONZE, OR COPPER.

G. FIRE SPRINKLES

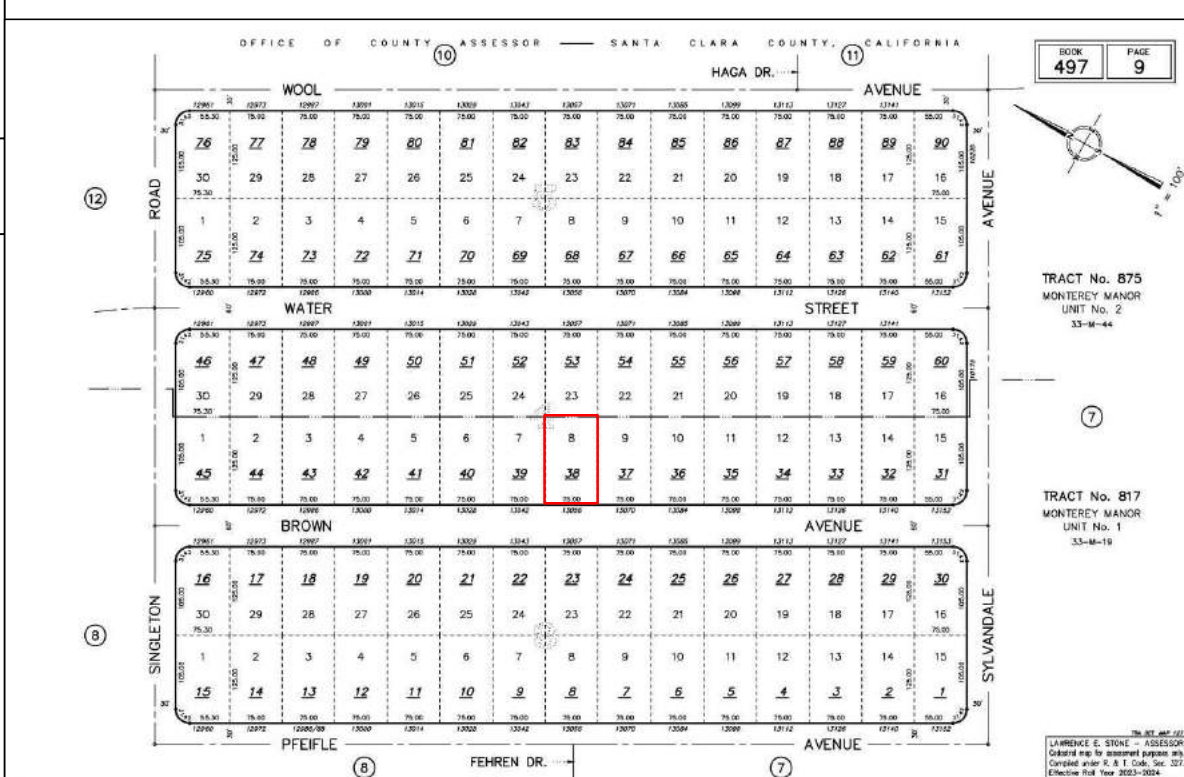
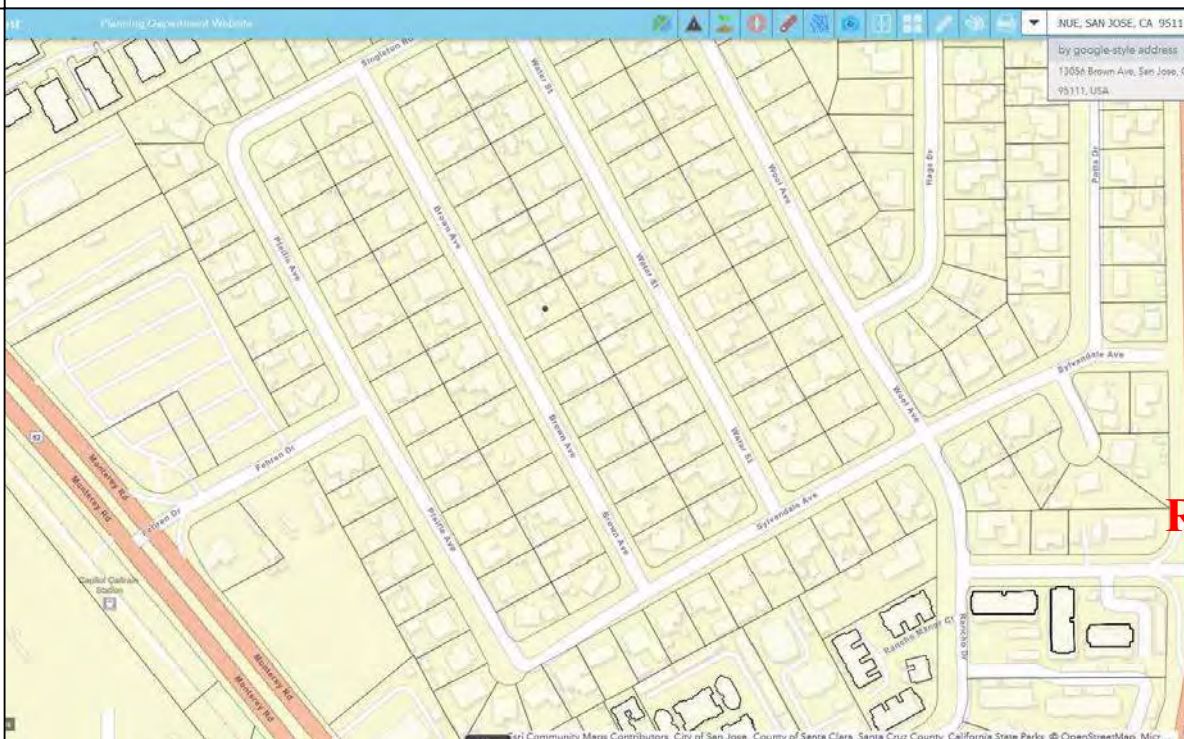
ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISION OFF THE CFC CHAPTER 14 AND OUR STANDARD DETAIL AND SPECIFICATION SI-7

APPLICABLE CODES

CODE COMPLIANCE

ALL CONSTRUCTION SHALL CONFORM TO ALL GOVERNING LAWS, CODES AND ORDINANCES INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
-2022 CALIFORNIA BUILDING CODES: CBC, CMC, CPC, CFC & CEC, CRC.
-2022 CA ENERGY CODE
-CITY OF SAN JOSE MUNICIPAL CODE
-ALL LOCAL ORDINANCES

VICINITY MAP



SHEET

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NOTES

- Please note that a Building Permit cannot be issued until all clearances by all reviewing departments (listed above) have been approved on the project. Check the status of your permit by visiting www.sjpermits.org and contact the individual departments directly with any questions.
- Revised plans, when required, must be clouded with delta number with a revision mark at each location where revision has occurred and be noted that additional comments may be triggered once revised plan are reviewed.
- When comments cite a section of code and require a revision, correction or amendment to plans, required information shall be specifically & directly provided on plans. Generic references to code section(s) is not acceptable.



TOMMY DRAFTING

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Email: helennguyen3689@gmail.com
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Date: JANUARY 2024

Scale: AS SHOWN

Drawn: LUyen HONG NGUYEN

Signed: *Thuy*

STAMPED FROM CITY

Reviewed for Code Compliance

City of San Jose, Building Division

☒ Building

☐ Electrical

☐ Plumbing

☐ Mechanical

Bana Divshali, P.E. (408) 535-8284

No. 24-06888 & 24-08813 Date: 4/15/24

PROJECT DATA - SITE PLAN

KIEN & HONG LAM'S RESIDENCE

(408) 334-1343 &

hongming3268@gmail.com

REVISION	DATE	BY
△	03-01-2024	HL

SHEET NO:

A-4

FLOOR PLAN NOTES:

1. ALL CONCRETE TO BE POURED ON UNDISTURBED SOIL.
2. ALL LUMBER IN CONTACT WITH CONCRETE SHALL BE FOUNDATION GRADE RWD OR PRESSURE TREATED.
3. ALL LUMBER USED IN CONSTRUCTION LOCATED NEARER THAN 8" TO EARTH SHALL BE F.G. RWD OR P.T.
4. PROVIDE SOLID BLOCKING FOR ALL PONY WALLS LESS THAN 14" HIGH
5. PROVIDE FIRESTOPS @ CONCEALED DRAFT OPENING, CEILING LINES, FLOOR LINES, FURRED AREAS, SUSPENDED CEILINGS, STAIR STRINGERS, SHOWERS, CHIMNEY ENCLOSURES, & MID HEIGHT OF WALLS OVER 10' IN HEIGHT.
6. VERIFY MIN. 22"x30" FLOOR ACCESS. ATTIC ACCESS WITH 30" CLEARING ABOVE OPENING.
7. DOORS, WINDOWS, & SHOWER DOORS WITHIN HAZARDOUS AREAS TO BE TEMPERED.
8. ALL POSTS, BEAMS & WALLS SUPPORTING THE FLOOR/ CEILING SHALL HAVE ONE-HOUR FIRE PROTECTION.
9. ALL NEW WINDOWS AND GLASS SLIDING DOOR SHALL BE LOW-E DUAL GLAZED U.N.O.
10. MATERIAL GRADE STAMPS WILL BE CHECKED ON FRAME INSPECTION.
11. ALL CONSTRUCTION SHALL COMPLY WITH THE 2019 EDITION OF THE CBC, CMC, CPC, CEC, CRC AND CFC AND THE 2022 CALIFORNIA ENERGY CODE.
12. CHANGES FROM THE APPROVED PLANS DURING CONSTRUCTION OTHER THAN 1.) CABINET CHANGES WHEN NOT BEING SUPPORTED ENTIRELY BY THE ROOF STRUCTURE, APPROVED PLAN, 2.) INTERIOR NON-STRUCTURAL WALL FINISHES: SHALL CAUSE PLAN APPROVAL AND CONSTRUCTION TO BE SUSPENDED. A NEW PLAN CHECK (FOR A NEW PLAN) SHOWING CHANGES WILL BE SUBMITTED FOR REVIEW AND APPROVAL THROUGH THE NORMAL PLAN CHECK PROCESS.
13. FIREBLOCKING WITH NON-COMBUSTIBLE MATERIAL SHALL BE PROVIDED IN OPENINGS AROUND VENTS, PIPES, DUCTS, FIREPLACES, AND SIMILAR OPENINGS PER CBC 708.2.1 (4).
14. PROVIDE SMOKE DETECTORS (HARDWIRED 110v W/BATT BACK-UP) IN EVERY BEDROOMS, THE HALL WAY TO THE BEDROOM, PROVIDE CARBON MONOXIDE SMOKE ALARM DETECTOR IN ALL SLEEPING ROOM.
15. IN EACH NEW BEDROOM, THERE IS AT LEAST ONE WINDOW, FOR EMERGENCY ESCAPE OR RESCUE: REQUIRE OPENING OF MINIMUM NET CLEAR AREA, 5.7 SQ. FT. HEIGHT 24", WIDTH 20", AND MAXIMUM FINISHED OPENING HEIGHT 44" ABOVE FINISH FLOOR
16. NEW 3'X3' MIN. CONCRETE LANDING AT ALL NEW EXTERIOR DOOR. LANDING SHALL NOT BE LOWER THAN 7'-1/2" FROM FLOOR LEVEL.
17. BATHROOM SLIDING DOOR MUST BE TEMPERED GLASS.
18. ALL NEW BEDROOM MUST BE AFCI CIRCUIT.
19. PRESSURE OR THERMOSTATIC MIXING VALVE AT THE SHOWERS AND TUBS, WHICH LIMIT WATER TEMPERATURE TO 120 DEGREES F
20. THE SHOWERS MUST HAVE INSIDE DEMENSION OF AT LEAST 30 INCHES, THE TOTAL FLOOR AREA OF A SHOWER MUST BE AT LIST 1,024 SQUARE INCHES. OPENING TO SHOWER MUST BE MIN. 24 INCHES WIDE, THE DOOR MUST BE TEMPERED GLASS.(SEE DETAILS)

ELECTRICAL NOTES:

MOTION SENSOR WITH INTEGRAL PHOTOCONTROL

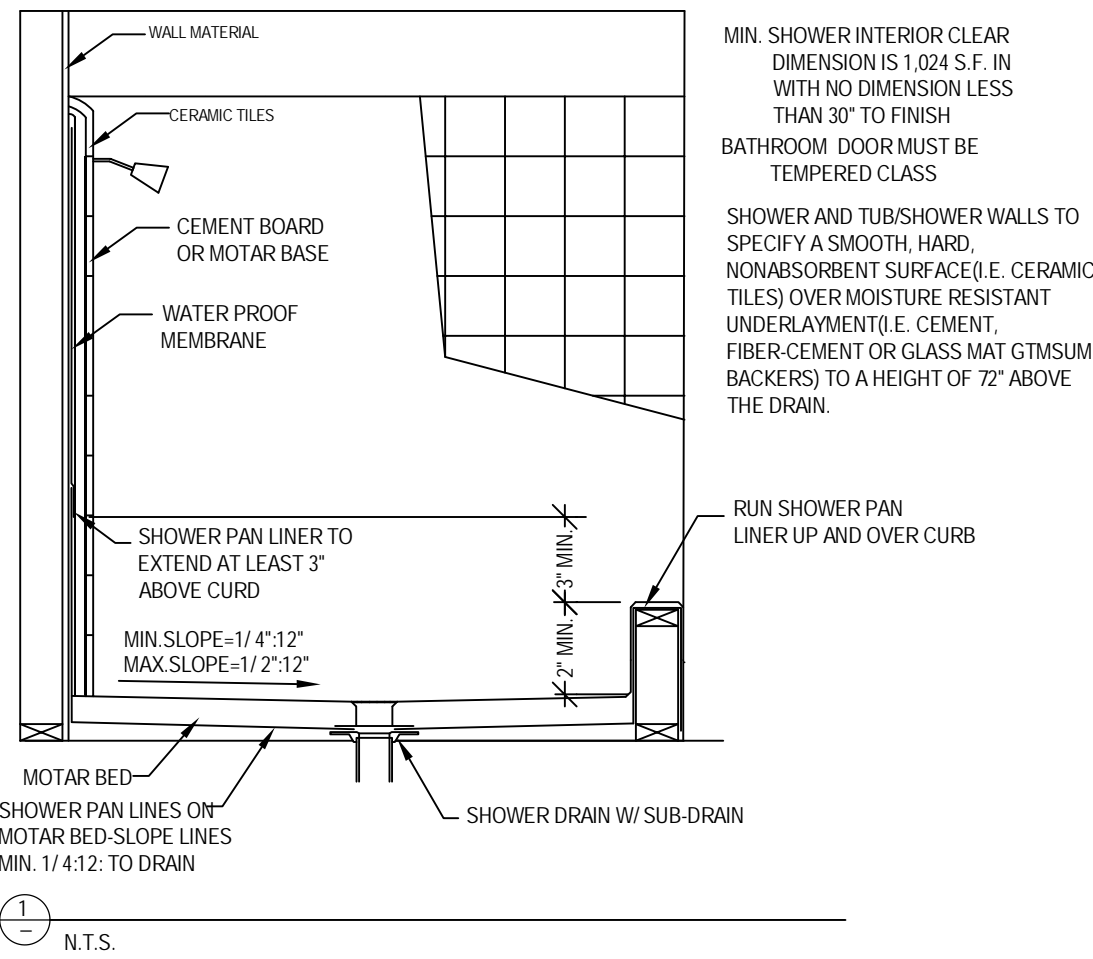
2. ALL HARDWIRED LIGHTING IN BATHROOMS, GARAGES, LAUNDRY AND UTILITY ROOMS MUST BE HIGH EFFICACY OR CONTROLLED BY A MANUAL-ON MOTION SENSOR
3. ALL HARDWIRED LIGHTING IN OTHER ROOMS (HALLWAYS, DINING ROOMS, FAMILY ROOMS AND BEDROOMS) SHALL BE HIGH EFFICACY OR CONTROLLED BY A MANUAL-ON OCCUPANT SENSOR OR A DIMMER MUST CONTROL IT
4. ALL SWITCHES ON A MULTIPLE SWITCHED CIRCUIT SHALL BE CONTROLLED BY THE DIMMER SWITCH ON THAT CIRCUIT
5. ALL RECESSED FIXTURES SHALL BE LABELED AS BEING CERTIFIED TO HAVE A LEAKAGE RATING OF LESS THAN 2.0 AT 75 PASCAL
6. ALL HIGH EFFICACY FIXTURES AND NON-HIGH EFFICACY FIXTURES SHALL BE SWITCHED SEPARATELY
7. SMOKE DETECTOR SYSTEM SHALL BE HARD-WIRED, INTERCONNECTED TO SOUND SIMULTANIOUSLY AND EQUIPED WITH BATTERY BACK-UP.
8. MIN. 50% OF WATTAGE OF LIGHTS IN KITCHEN SHALL BE HIGH EFFICACY AND THOSE THAT ARE NOT SHALL BE SWITCHED SEPARATELY
9. LIGHTS MOUNTED TO EXTERIOR OF BUILDING SHALL BE HIGH EFFICACY OR ON A PHOTO CONTROL/MOTION SENSOR COMBINATION

LAMP POWER RATING:	MINIMUM LAMP EFFICACY:
15 watts or less	40 lumens per watt
over 15 watts to 40 watts	50 lumens per watt
over 40 watts	60 lumens per watt

NOTES:

NOTE:
WATER RESISTANT GYPSUM BACKING BOARD SHALL NOT BE USED WHERE THERE WILL BE DIRECT EXPOSURE TO WATER, OR IN AREAS SUBJECT TO CONTINUOUS HIGH HUMIDITY. R702.3.7.1

Note:
on plan the fire-resistance-rated floor/ceiling and wall assemblies shall extend to and be tight against the exterior wall, and wall assemblies shall extend from the foundation to the underside of the roof sheathing or rated floor/ceiling assembly.

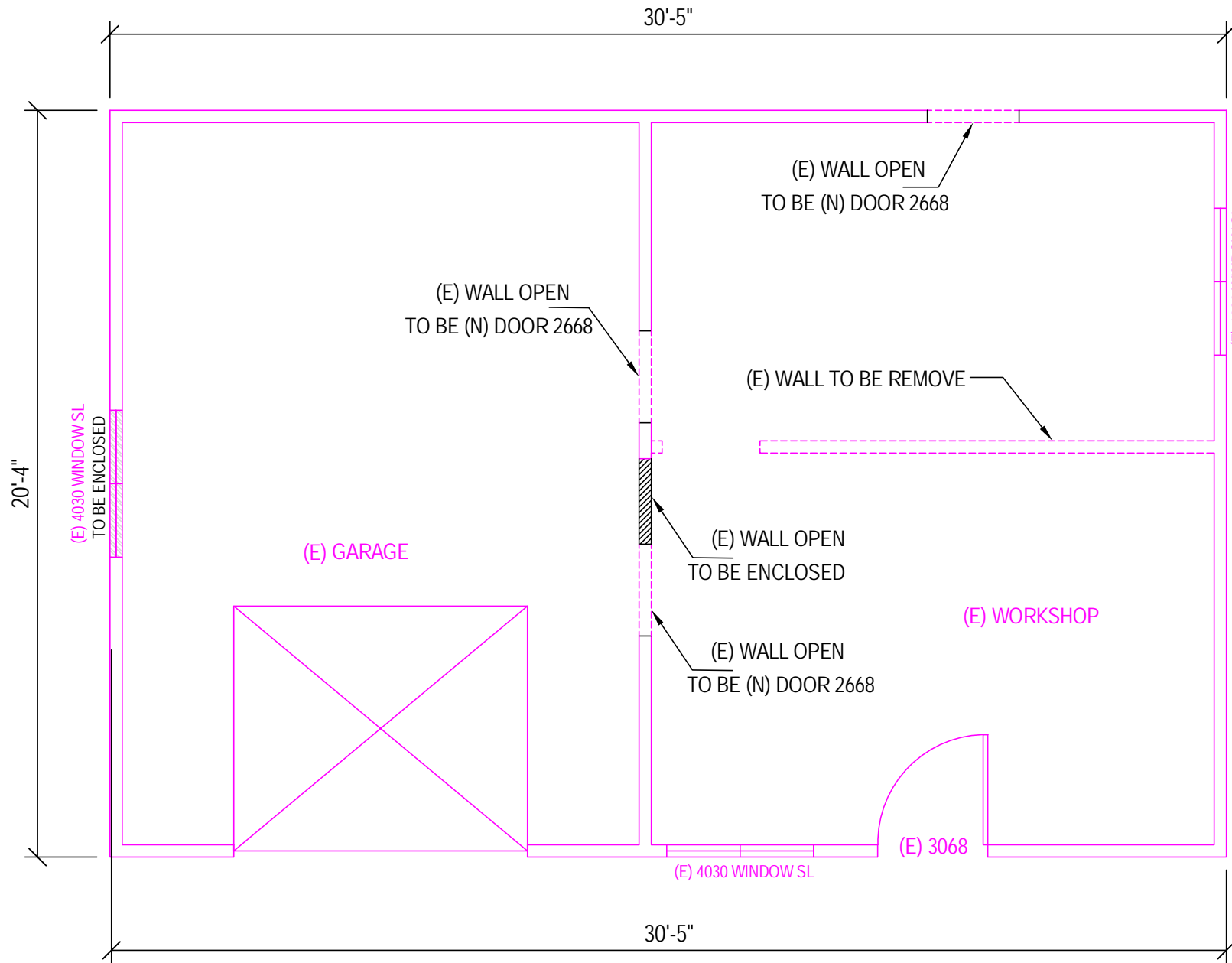


NOTE: GRAB BAR REINFORCEMENT ON ALL SHOWER WALLS

Aging-In Design note added for reinforcement installation:

- a) Reinforcement shall not be less than 2x8 nominal lumber or other construction material providing equal height and load capacity. Reinforcement shall be located between 32 inches and 39-1/4 inches above the finish floor flush with the wall framing.
- b) Water closet reinforcement shall be installed on both side walls of the fixture, or one side wall and the back wall.
- c) Shower reinforcement shall be continuous where wall framing is provided.
- d) Bathtub and combination bathtub/shower reinforcement shall be continuous on each end of the bathtub and the back wall. Additionally, backwall reinforcement for a lower grab bar shall be provided with the bottom edge located no more than 6 inches above the bathtub rim.
- e) On electrical plan: Receptacles, switches and controls (including controls for heating, ventilation and air conditioning) intended to be used by occupants shall be located no more than 48 inches measured from the top of the outlet box and not less than 15 inches measured from the bottom of the outlet box above the finish box.
- f) Doorbell buttons or controls, when installed, shall not exceed 48 inches above exterior floor or landing, measured from the top of the doorbell button assembly. Where doorbell buttons integrated with other features are required to be installed above 48 inches measured from the exterior floor or landing, a standard doorbell button or control shall also be provided at a height not exceeding 48 inches above exterior floor or landing, measured from the top of the doorbell button or control.

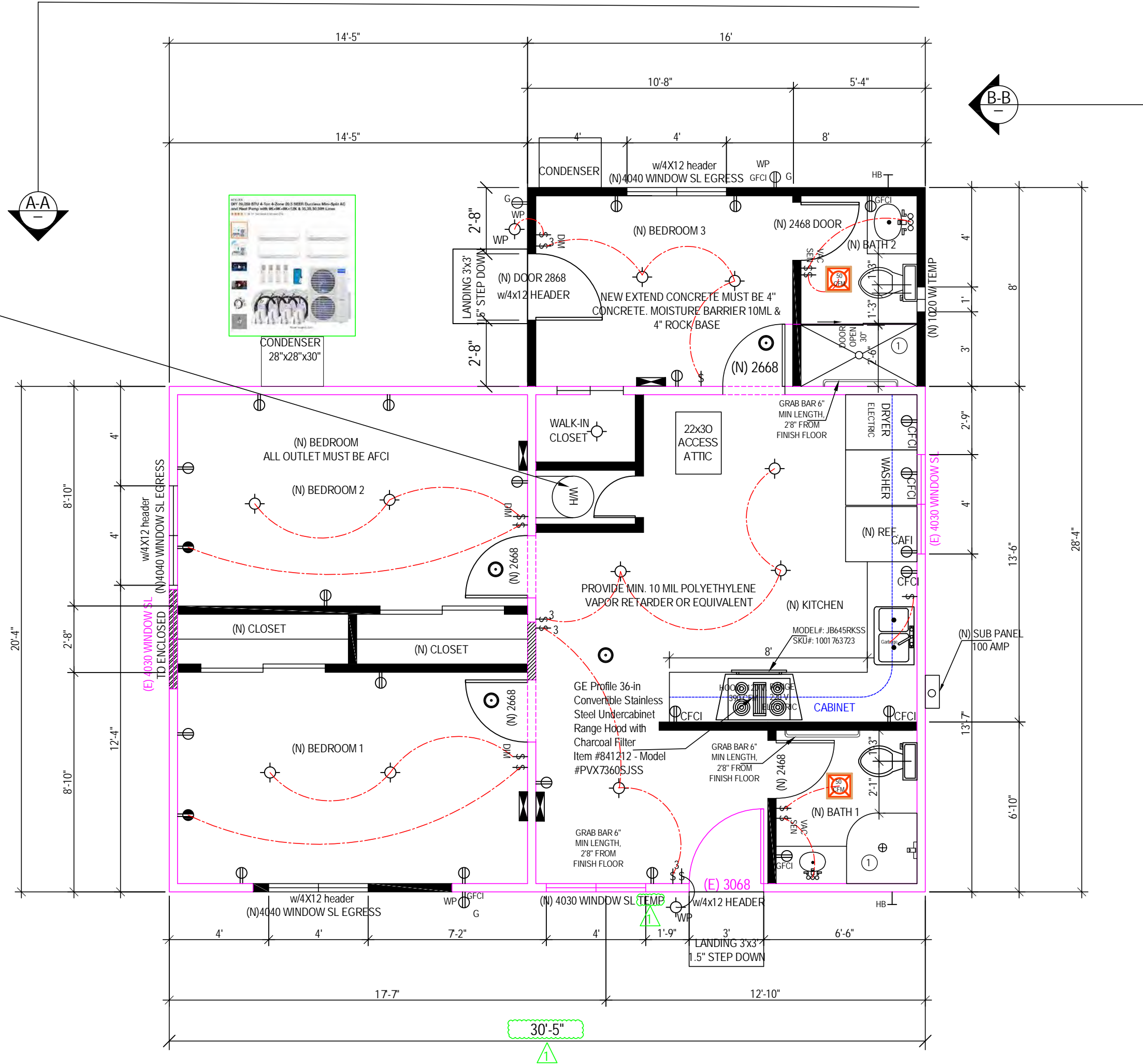
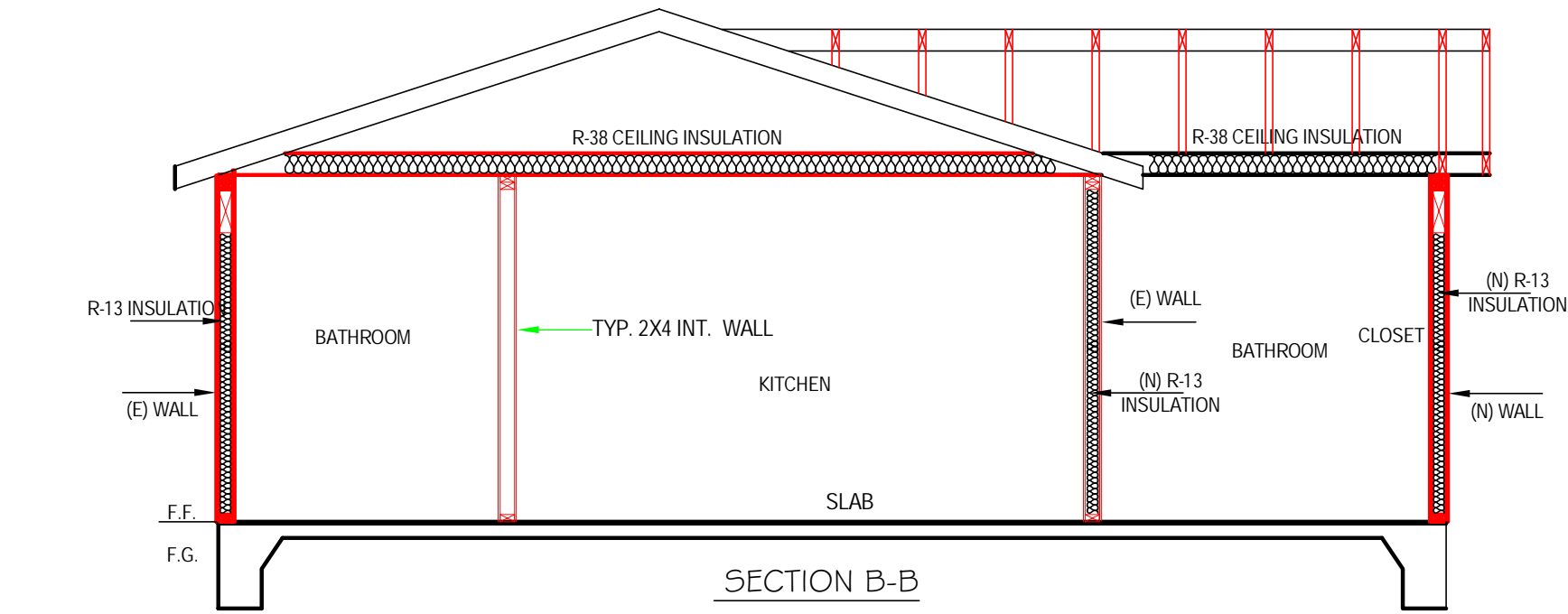
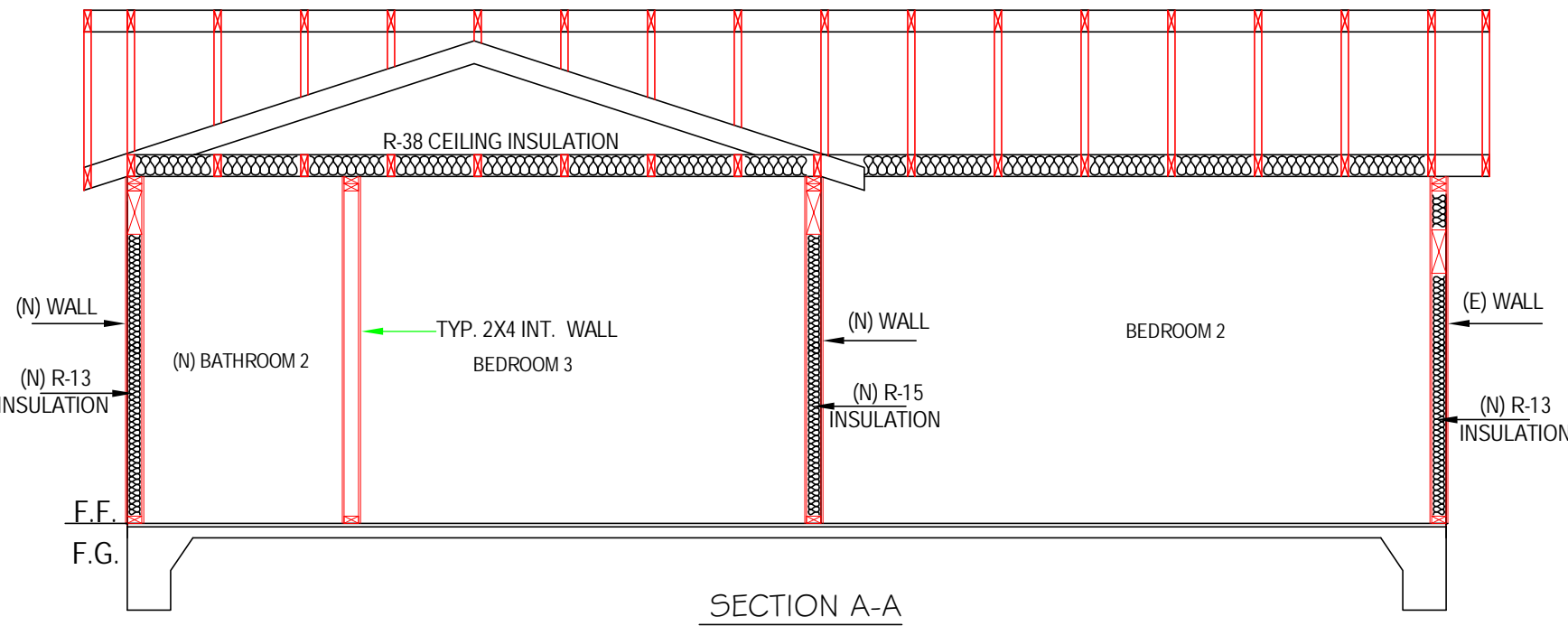
- Sheet A-2: Provide the following notes on plans for the new aging in place requirements in 2022 CRC: Doorbell buttons or controls, when installed, shall not exceed 48 inches above exterior floor or landing.
- a. measured from the top of the doorbell button assembly. Where doorbell buttons integrated with other features are required to be installed above 48 inches measured from the exterior floor or landing, a standard doorbell button or control shall also be provided at a height not exceeding 48 inches above exterior floor or landing, measured from the top of the doorbell button or control. (CRC R3271.1.4)
 - b. At least one bathroom shall be provided with reinforcement installed in accordance with CRC R3271.1.1. Information and/or drawings identifying the location of grab bar reinforcement shall be placed in the operation and maintenance manual in accordance with the California Green Building Standards Code, Chapter 4.4, (CRC R3271.1.1)
 - c. Electrical receptacle outlets, switches, and controls (including controls for heating, ventilation and air conditioning) intended to be used by occupants shall be located no more than 48 inches measured from the top of the outlet box and not less than 15 inches measured from the bottom of the outlet box above the finish floor. Please indicate on the plans. (CRC R3271.2)



(E) FLOOR PLAN
SCALE: 1 / 4" = 1'-0"

NOTE:
Ceiling layer medium outward ducts shall terminate outside the building with a 3/4 inch diameter. Exhaust ducts to be 1/2 inch or less. This shall be indicated 2' for every above in excess of two or in accordance with manufacturer's installation instructions. Show minimum 4' clearance, smooth, rigid duct, and show duct made on plan. Exhausted air ducts shall terminate no less than 1 foot from a property line, 10 feet from a forced air inlet, 10 feet above a public walkway, and 3 feet from openings into the building. (2014 CMC)

NOTE:
ALL 120-VOLT, SINGLE PHASE, 15 AND 20 AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN DWELLING UNIT KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION TYPE. INSTALL TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT.



PROPOSAL FLOOR AND ELECTRIC PLAN
SCALE: 1 / 4" = 1'-0"

ELECTRICAL LEGENDS

- CEILING RECEPTACLE OUTLET
- DUPLEX RECEPTACLE, MTD @ 12" U.O.N.
- SINGLE OUTLET
- 220V 20V OUTLET
- WEATHERPROOF DUPLEX OUTLET W/GFI
- DUPLEX OUTLET W/GROUND FAULT INTERRUPTER
- DUPLEX RECEPTACLE, MTD@+12" U.O.N.
- SPLIT WIRE WITH HALF SW/CONTROLLED SPECIAL PURPOSE
- FLOOR DUPLEX RECEPTACLE OUTLET
- CARBON MONOXIDE SMOKE DETECTOR W/BATTERY BACK UP
- CEILING LIGHT
- FLUORESCENT LIGHT
- RECESSED CANISTER
- FLOOR OUTLET (DBI)
- SWITCH
- 3 WAY SWITCH
- 4 WAY SWITCH
- DIMMER SWITCH
- TIMER SWITCH
- CEILING FAN
- FUEL GAS
- FAN TO OUTSIDE AIR
- CARBON MONOXIDE SMOKE DETECTOR W/BATTERY BACK UP
- INCANDESCENT LIGHT FIXTURE (CEILING)
- WEATHERPROOF LIGHT FIXTURE
- DISPOSAL
- RECESSED LIGHT FIXTURE
- FAN TO OUTSIDE AIR
- CHIME
- PUSH BUTTON
- GAS RISER
- GAS STUB
- HORSE BID WITH BACKFLOW PREVENTATION DEVICE
- HOSE BIBB SHUT OFF VALVE
- BELL / BUZZER
- ELECTRICAL DISCONNECT
- DECORATIVE ABOVE MIRROR BATHROOM LIGHT
- CIRCUIT BREAKER
- KEY
- MOTION SENSOR
- CHANDELIER
- FLOOR SUPPLY AIR REGISTER
- CEILING SUPPLY AIR REGISTER
- FLUORESCENT LIGHT FIXTURE (SURFACE) SEE PLAN
- CO DETECTORS U.L./SFM LISTED APPROVED

LEGEND

- NEW WALL
- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVE
- EXISTING OPENING TO BE ENCLOSED
- EXISTING WINDOW TO REMAIN
- EXISTING WINDOW TO BE ENCLOSED
- EXISTING DOORS TO REMAIN



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A-6