

KIEN & HONG LAM'S RESIDENCE

13056 BROWN AVENUE, SAN JOSE, CA 95111



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Date: JANUARY 2024

Scale: AS SHOWN

Drawn: LUEN HONG NGUYEN

Signed: *Thuy*

STAMPED FROM CITY

Reviewed for Code Compliance
City of San Jose, Building Division
 Building Electrical
 Plumbing Mechanical
Bana Divshali, P.E. (408) 535-8284
No. 24-068989 & 24-069173 Date: 4/15/24

PROJECT DATA - SITE PLAN
(408) 334-1343 &
hongming3268@gmail.com

KIEN & HONG LAM'S RESIDENCE

SHEET NO:

A-1

STRUCTURAL GENERAL NOTES

A. GENERAL

- ALL WORK SHALL CONFORM TO CURRENT 2022 CBC, CBC, CMC, CPC, 2022 NEC, 2022 CEC, LAWS & ORDINANCES
- THE CONTRACTOR SHALL VERIFY & BE RESPONSIBLE FOR ALL DIMENSIONS & CONDITIONS AT THE JOB SITE AND SHALL NOTIFY THE ARCHITECT OF ANY DESCRIPTIVE CONDITIONS BETWEEN ACTUAL CONDITIONS & WHAT IS SHOWN ON THE DRAWINGS BEFORE PROCEEDING WITH THE WORK.
- ANY OMISSIONS OR CONFLICTS BETWEEN THE ARCHITECTURAL, STRUCTURAL & MECHANICAL DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE CITY INSPECTOR.
- SHOP DRAWINGS REQUIRED BY THE SPECIFICATIONS SHALL BE SUBMITTED TO THE ARCHITECT PRIOR TO FABRICATION, & ALLOW REASONABLE TIME FOR REVIEW AND APPROVAL BY THE STRUCTURAL ENGINEER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE BUILDING DURING THE CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE ADEQUATE SHORING, BRACING & GUYS IN ACCORDANCE WITH ALL NATIONAL, STATE AND LOCAL SAFETY ORDINANCES. ANY DEVIATIONS MUST BE APPROVED PRIOR TO ERECTION.
- ALL CONDITIONS NOT CLEARLY SHOWN OR DETAILED SHALL BE OF THE SAME TYPE & CHARACTER AS THOSE SHOWN FOR SIMILAR CONDITIONS.

B. FOUNDATION

- FOUNDATION EXCAVATIONS SHALL BE FREE OF LOOSE MATERIAL PRIOR TO THE PLACEMENT OF ANY REINFORCING STEEL OR CONCRETE.

C. CONCRETE

- ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI AT 28 DAYS.
- CONCRETE SHALL BE REGULAR WEIGHT HARD ROCK TYPE (150#CF) & AGGREGATE SHALL CONFORM TO ASTM C33 U.O.N.
- CEMENT SHALL CONFORM TO ASTM C150, TYPE 1 OR 2.
- PLACEMENT OF CONCRETE SHALL BE IN CONFORMANCE WITH ACI 301.
- CONCRETE SHALL BE MACHINE MIXED AND DELIVERED IN ACCORDANCE WITH ASTM C-94. SUBMIT MIX DESIGN TO THE ARCHITECT FOR APPROVAL PRIOR TO PLACING CONCRETE.
- PROVIDE MINIMUM CLEAR COVER OF CONCRETE OVER REINFORCING AS FOLLOWS

D. REINFORCING STEEL

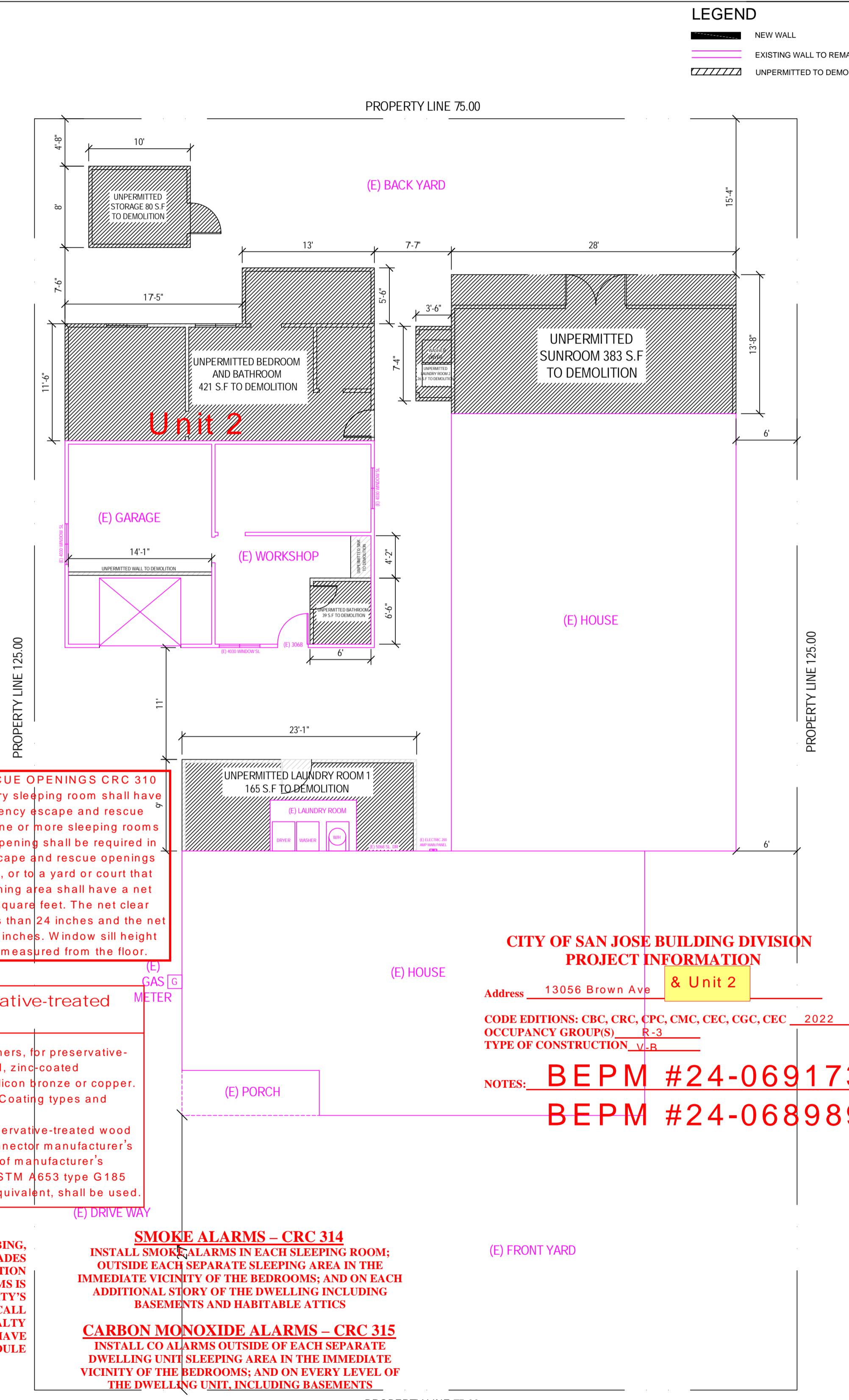
- ALL REINFORCING STEEL SHALL CONFORM TO ASTM SPECIFICATION A615 GRADE 60 FOR #5 AND LARGER BARS AND GRADE 40 FOR #3 & #4.
- ALL REINFORCING STEEL SHALL BE LAPPED AS NOTED BELOW. #4" 24" FOR BOTTOM BARS AND 28" FOR TOP BARS. #5" 30" FOR BOTTOM BARS AND 35" FOR TOP BARS. #6" 40" FOR BOTTOM BARS AND 46" FOR TOP BARS AT SPLICES UNLESS OTHERWISE NOTED ON PLANS. SPLICES SHALL BE LOCATED AS DETERMINED IN THE PLANS. STAGGER ALL LAPS SPLICES.
- WELDED WIRE FABRIC SHALL CONFORM TO ASTM A82 AND A185.
- ANCHOR BOLTS, DOWELS AND OTHER EMBEDDED ITEMS SHALL BE SECURELY TIED IN PLACE BEFORE CONCRETE IS PLACED. USE CYT THREAD ANCHOR BOLTS ONLY.

E. STRUCTURAL & MISC. STEEL

- FABRICATION AND ERECTION TO BE IN ACCORDANCE WITH LATEST AISC SPECIFICATIONS. STRUCTURAL STEEL SHALL BE ASTM A36, EXCEPT TUBE COLUMNS WHICH ARE ASTM A500, GRADE B.
- WELDING TO BE IN ACCORDANCE WITH AWS SPECIFICATIONS. WELDING SHALL BE PERFORMED BY CERTIFIED WELDERS USING E7XX ELECTRODES.
- ALL PLATES, ETC., TO BE BOLTED TO CONCRETE ELEMENTS, SHALL NOT BE FABRICATED UNTIL THE BOLTS HAVE BEEN LOCATED IN THE FIELD.
- BOLTS SHALL BE ASTM A307 TYPE. THREADS MAY BE INCLUDED IN THE SHEAR PLANES.
- STEEL TO BE SHOT PRIMED FOR, EXCEPT WHERE EMBEDDED IN CONCRETE OR TO BE WELDED.
- ALL WELDING SHALL BE CONTINUOUSLY INSPECTED BY AN INDEPENDENT INSPECTOR APPROVED BY THE BUILDING DEPARTMENT.

F. WOOD FRAME CONSTRUCTION

- GENERAL WOOD FRAMING. WOOD FRAMING THROUGHOUT THE BUILDING SHALL BE CONSTRUCTED IN ACCORDANCE WITH CALIFORNIA BUILDING CODE (2019) AND THE STANDARD PRACTICES RECOMMENDED BY AMERICAN INSTITUTE OF TIMBER CONSTRUCTION AND WCLCA GRADING. FOR NAILING SEE SECTION J. BOLTS IN WOOD FRAMING SHALL BE STANDARD MACHINE BOLTS WITH STANDARD MALLEABLE IRON WASHERS.
- WOOD PLATES: BEARING DIRECTLY UPON CONCRETE SHALL BE P.T.D.F.
- UNLESS OTHERWISE NOTED ON DRAWINGS OR IN SPECIFICATIONS, FRAMING MEMBERS SHALL HAVE THE FOLLOWING GRADING:



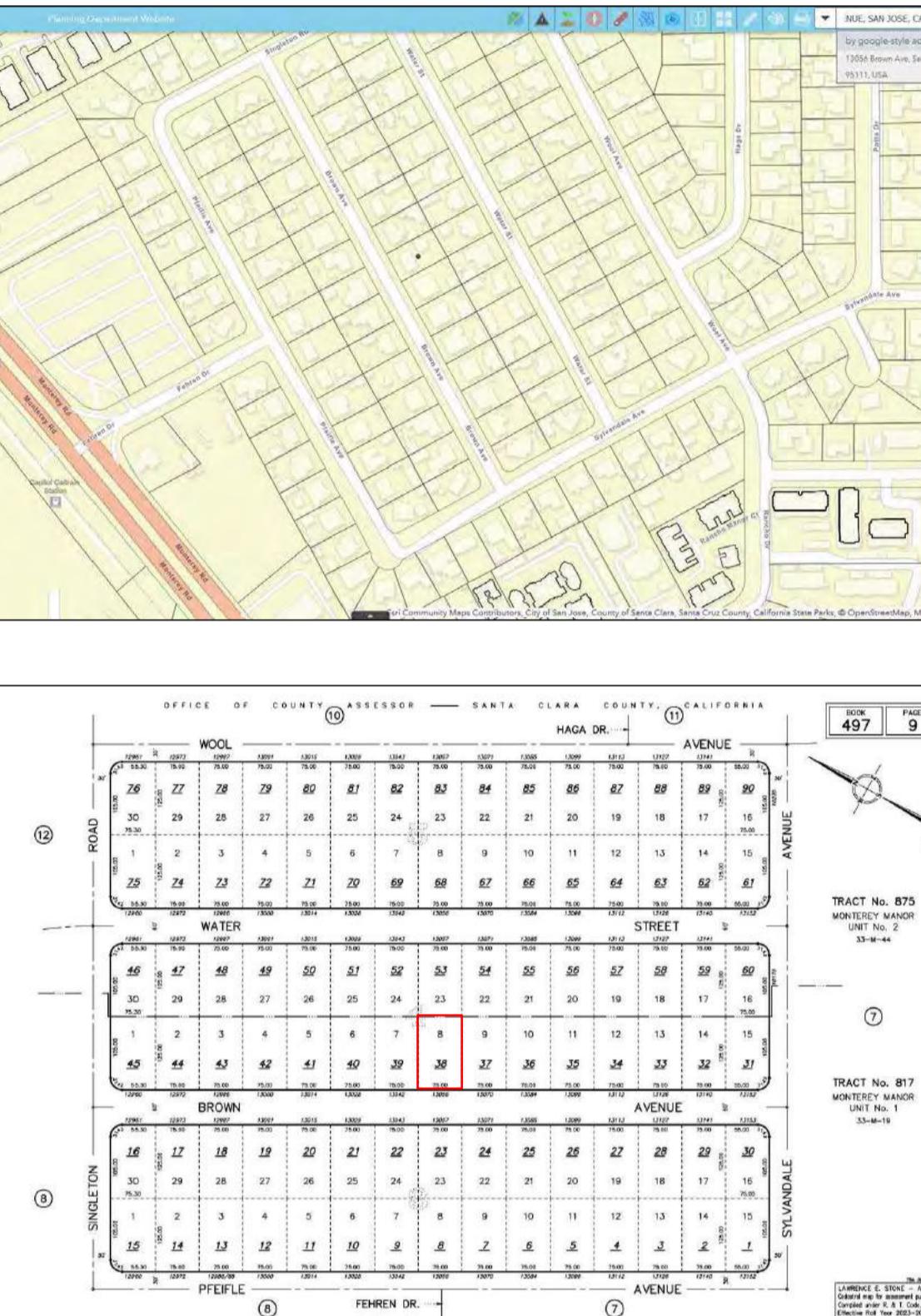
SITE PLAN UNPERMITTED - SCALE: 1 / 8" = 1'-0"

LEGEND
 NEW WALL
 EXISTING WALL TO REMAIN.
 UNPERMITTED TO DEMOLITION

PROJECT DATA

OWNER: KIEN & HONG LAM
EXISTING USE: SINGLE FAMILY RESIDENCE
LOCATION: 13056 BROWN AVENUE, SAN JOSE, CA 95111
APN: 497-09-038
ZONING: R3
LOT GROSS SIZE: 9,375 S.F.
OCCUPANCY GROUP: R-3/U
TYPE OF CONSTRUCTION: V-B
FIRE SPRINKLER: NONE
YEAR BUILT: 1951
ALLOWABLE FLOOR AREA: 4,219 S.F.
LOT AVERAGE SLOPE: (FLAT)
FLOOR AREA: EXISTING PROPOSAL TOTAL
DWELLING: 2,346 S.F. 128 S.F. 2,474 S.F.
FRONT PORCH AREA: 63 S.F. 63 S.F.
GARAGE / WORKSHOP: 618 S.F. 618 S.F.
TOTAL FOOTPRINT: 3,155 S.F.
FAR: 33.7%

VICINITY MAP



SCOPE OF WORK

UNPERMITTED TO DEMOLITION ALL WALLS, DOORS, WINDOWS, SHEetrock CEILING, LAMINATE FLOORING, RAFTER, ELECTRICAL, PLUMBING, MECHANICAL.
 1. UNPERMITTED LAUNDRY ROOM 165 S.F.
 2. UNPERMITTED BATHROOM 39 S.F. AND SINK AT (E) WORKSHOP
 3. UNPERMITTED WALL AT EXISTING GARAGE
 4. UNPERMITTED BEDROOM AND BATHROOM 421 S.F. IN THE BACK GARAGE & WORKSHOP
 5. UNPERMITTED SUNROOM 383 S.F. AND UNPERMITTED LAUNDRY ROOM 26 S.F.
 6. UNPERMITTED STORAGE 80 S.F.
 NEWSCOPE OF WORK APPLICABLE PERMIT ADU
 (E) GARAGE 618 S.F. + ADDITION IN THE BACK GARAGE 128 S.F.
 TOTAL 765 S.F. TO BE NEW ADU UNIT
 INCLUDED: 3 BEDROOMS, 2 BATHROOMS, 1 LIVING ROOM AND 1 KITCHEN

STRUCTURAL GENERAL NOTES

G. NAIL SCHEDULE

- WOOD MEMBERS SHALL BE CONNECTED WITH NAILING INDICATED IN TABLE 2304.9.1 OF 2022 CBC UNLESS GREATER SIZES AND NUMBER OF NAILS ARE SHOWN OR NOTED ON DRAWINGS. NAILS EXPOSED TO WEATHER SHALL BE GALVANIZED. NAILS SHALL BE COMMON WIRE NAILS. HOLES FOR NAILS SHALL BE PROVIDED WHERE THE WOOD TENDS TO SPLIT. SPLIT WOOD MEMBERS SHOULD BE REPLACED AND REMOVED FROM THE JOB PROMPTLY. SHORT PLYWOOD NAILS FOR EQUIVALENT SHEAR VALUE MAY BE USED. SEE PLANS FOR NAIL SPACING. NAIL-ROOF SHEATHING 8d @ 6" O.C. AT SUPPORTED EDGES. 8d @ 10" INCHES O.C. AT INTERMEDIATE SUPPORTS. FLOOR SHEATHING 8d @ 6" O.C. AT BOUNDARIES AND PANEL EDGES AND 8d @ 10" O.C. AT INTERMEDIATE SUPPORTS. PLYWOOD WALL SHEATHING SHALL BE NAILED PER SHEAR WALL SCHEDULE AT SHEAR WALLS, AND AT A MINIMUM OF 8d @ 6" O.C. ALL OTHER EDGES.
- AT PRESSURE TREATED LUMBER USE HOT DIPPED GALVANIZED, STAINLESS STEEL, SILICON BRONZE, OR COPPER.

G. FIRE SPRINKLES

ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISION OFF THE CFC CHAPTER 14 AND OUR STANDARD DETAIL AND SPECIFICATION SI-7

APPLICABLE CODES

CODE COMPLIANCE

ALL CONSTRUCTION SHALL CONFORM TO ALL GOVERNING LAWS, CODES AND ORDINANCES INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
 -2022 CALIFORNIA BUILDING CODES: CBC, CMC, CPC, CFC & CEC, CRC.
 -2022 CA ENERGY CODE
 -CITY OF SAN JOSE MUNICIPAL CODE
 -ALL LOCAL ORDINANCES

SHEET

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NOTES

a) Please note that a Building Permit cannot be issued until all clearances by all reviewing departments (listed above) have been approved on the project. Check the status of your permit by visiting www.sjpermits.org and contact the individual departments directly with any questions.
 b) Revised plans, when required, must be clouded with delta number with a revision mark at each location where revision has occurred and be noted that additional comments may be triggered once revised plan are reviewed.
 c) When comments cite a section of code and require a revision, correction or amendment to plans, required information shall be specifically & directly provided on plans. Generic references to code section(s) is not acceptable.

REVISION	DATE	BY
▲	03-01-2024	HL

FLOOR PLAN NOTES:

1. ALL CONCRETE TO BE POURED ON UNDISTURBED SOIL.
2. ALL LUMBER IN CONTACT WITH CONCRETE SHALL BE FOUNDATION GRADE RWD OR PRESSURE TREATED.
3. ALL LUMBER USED IN CONSTRUCTION LOCATED NEARER THAN 8" TO EARTH SHALL BE F.G. RWD OR P.T.
4. PROVIDE SOLID BLOCKING FOR ALL PONY WALLS LESS THAN 14" HIGH.
5. PROVIDE FIRESTOP @ CONCEALED DRAFT OPENING, CEILING LINES, FLOOR LINES, FURRED AREAS, SUSPENDED CEILINGS, STAIR STRINGERS, SHOWERS, CHIMNEY ENCLOSURES, & MID HEIGHT OF WALLS OVER 10' IN HEIGHT.
6. VERIFY MIN 22"x30' FLOOR ACCESS ATTIC ACCESS WITH 30" CLEARING ABOVE OPENING.
7. DOORS, WINDOWS, & SHOWER DOORS WITHIN HAZARDOUS AREAS TO BE TEMPERED.
8. ALL POSTS, BEAMS & WALLS SUPPORTING THE FLOOR/ CEILING SHALL HAVE ONE-HOUR FIRE PROTECTION.
9. ALL NEW WINDOWS AND GLASS SLIDING DOOR SHALL BE LOW-E DUAL GLAZED U.O.N.
10. MATERIAL GRADE STAMPS WILL BE CHECKED ON FRAME INSPECTION.
11. ALL CONSTRUCTION SHALL COMPLY WITH THE 2019 EDITION OF THE CBC, CMC, CPC, CEC, CRC AND CFC AND THE 2022 CALIFORNIA ENERGY CODE.
12. CHANGES FROM THE APPROVED PLANS DURING CONSTRUCTION OTHER THAN 1.) CABINET CHANGES WHEN NOT BEING SUPPORTED ENTIRELY BY THE ROOF STRUCTURE, APPROVED PLAN, 2.) INTERIOR NON-STRUCTURAL WALL FINISHES: SHALL CAUSE PLAN APPROVAL AND CONSTRUCTION TO BE SUSPENDED. A NEW PLAN CHECK (FOR A NEW PLAN) SHOWING CHANGES WILL BE SUBMITTED FOR REVIEW AND APPROVAL THROUGH THE NORMAL PLAN CHECK PROCESS.
13. FIREBLOCKING WITH NON-COMBUSTIBLE MATERIAL SHALL BE PROVIDED IN OPENINGS AROUND VENTS, PIPES, DUCTS, FIREPLACES, AND SIMILAR OPENINGS PER CBC 708.2.1 (4).
14. PROVIDE SMOKE DETECTORS (HARDWIRED 110v W/BATT BACK-UP) IN EVERY BEDROOMS, THE HALL WAY TO THE BEDROOM, PROVIDE CARBON MONOXIDE SMOKE ALARM DETECTOR IN ALL SLEEPING ROOM.
15. IN EACH NEW BEDROOM, THERE IS AT LEAST ONE WINDOW, FOR EMERGENCY ESCAPE OR RESCUE: REQUIRE OPENING OF MINIMUM NET CLEAR AREA 5.7 SQ. FT. HEIGHT 24", WIDTH 20", AND MAXIMUM FINISHED OPENING HEIGHT 44" ABOVE FINISH FLOOR.
16. NEW 3x3' MIN. CONCRETE LANDING AT ALL NEW EXTERIOR DOOR. LANDING SHALL NOT BE LOWER THAN 7 1/2" FROM FLOOR LEVEL.
17. BATHROOM SLIDING DOOR MUST BE TEMPERED GLASS.
18. ALL NEW BEDROOM MUST BE AFCI CIRCUIT.
19. PRESSURE OR THERMOSTATIC MIXING VALVE AT THE SHOWERS AND TUBS, WHICH LIMIT WATER TEMPERATURE TO 120 DEGREES F.
20. THE SHOWERS MUST HAVE INSIDE DEMENSION OF AT LEAST 30 INCHES, THE TOTAL FLOOR AREA OF A SHOWER MUST BE AT LIST 1,024 SQUARE INCHES, OPENING TO SHOWER MUST BE MIN. 24 INCHES WIDE, THE DOOR MUST BE TEMPERED GLASS (SEE DETAILS).

ELECTRICAL NOTES:

1. MOTION SENSOR WITH INTEGRAL PHOTOCONTROL.
2. ALL HARDWIRED LIGHTING IN BATHROOMS, GARAGES, LAUNDRY AND UTILITY ROOMS MUST BE HIGH EFFICACY OR CONTROLLED BY A MANUAL-ON MOTION SENSOR.
3. ALL HARDWIRED LIGHTING IN OTHER ROOMS (HALLWAYS, DINING ROOMS, FAMILY ROOMS AND BEDROOMS) SHALL BE HIGH EFFICACY OR CONTROLLED BY A MANUAL-ON OCCUPANT SENSOR OR A DIMMER MUST CONTROL IT.
4. ALL SWITCHES ON A MULTIPLE SWITCHED CIRCUIT SHALL BE CONTROLLED BY THE DIMMER SWITCH ON THAT CIRCUIT.
5. ALL RECESSED FIXTURES SHALL BE LABELED AS BEING CERTIFIED TO HAVE A LEAKAGE RATE OF LESS THAN 2.0 AT 75 PASCAL.
6. ALL HIGH EFFICACY FIXTURES AND NON-HIGH EFFICACY FIXTURES SHALL BE SWITCHED SEPARATELY.
7. SMOKE DETECTOR SYSTEM SHALL BE HARD-WIRED, INTERCONNECTED TO SOUND SIMULTANIOUSLY AND EQUIPED WITH BATTERY BACK UP.
8. MIN. 50% OF WATTAGE OF LIGHTS IN KITCHEN SHALL BE HIGH EFFICACY AND THOSE THAT ARE NOT SHALL BE SWITCHED SEPARATELY.
9. LIGHTS MOUNTED TO EXTERIOR OF BUILDING SHALL BE HIGH EFFICACY OR ON A PHOTO CONTROL/MOTION SENSOR COMBINATION.

LAMP POWER RATING:	MINIMUM LAMP EFFICACY:
15 watts or less	40 lumens per watt
over 15 watts to 40 watts	50 lumens per watt
over 40 watts	60 lumens per watt

NOTES:

NOTE: WATER-RESISTANT GYPSUM BACKING BOARD SHALL NOT BE USED WHERE THERE WILL BE DIRECT EXPOSURE TO WATER, OR IN AREAS SUBJECT TO CONTINUOUS HIGH HUMIDITY. R702.3.7.1
Note: on plan the fire-resistance rated floor/ceiling and wall assemblies shall extend to and be tight against the exterior wall, and wall assemblies shall extend from the foundation to the underside of the roof sheathing or rated floor/ceiling assembly.

FLOOR PLAN UNPERMITTED TO DEMOLITION
SCALE: 1 / 4" = 1'-0"

ELECTRICAL LEGENDS

STAMPED FROM CITY

Reviewed for Code Compliance
City of San Jose, Building Division
Building **Electrical**
Plumbing **Mechanical**
Bana Divshali, P.E. (408) 535-8284
No. 24-088189 & 24-088173 **Date: 4/15/24**

FLOOR PLAN UNPERMITTED
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SAN JOSE, CA 95111

LEGEND

REVISION **DATE** **BY**

LEGEND

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SHEET NO:

A-2

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(E) FLOOR PLAN
 SCALE: 1 / 4" = 1'-0"

ELECTRICAL LEGENDS

CEILING RECEPTACLE OUTLET
 DUPLEX RECEPTACLE, MTD @ 12" U.O.N.
 SINGLE OUTLET
 220V/240V OUTLET
 WP G WEATHERPROOF DUPLEX OUTLET W/GFCI
 GFI DUPLEX OUTLET W/GROUND
 FAULT INTERRUPTER
 DUPLEX RECEPTACLE, MTD @+12" U.O.N.: SPLIT WIRE WITH HALFWIRE CONTROLLED
 SPECIAL PURPOSE
 FLOOR DUPLEX RECEPTACLE OUTLET
 CARBON MONOXIDE SMOKE
 C/O DETECTOR W/BATTERY BACK UP
 CEILING LIGHT
 FLUORESCENT LIGHT
 RECESSED CANISTER
 FLOOR OUTLET (DBL)
 SWITCH
 3 WAY SWITCH
 4 WAY SWITCH
 DIMMER SWITCH
 TIMER SWITCH
 CEILING FAN
 FUEL GAS
 FAN TO OUTSIDE AIR
 CARBON MONOXIDE SMOKE
 DETECTOR W/BATTERY BACK UP
 INCANDESCENT LIGHT
 FIXTURE (CEILING)
 WEATHERPROOF
 LIGHT FIXTURE
 DISPOSAL
 RECESSED LIGHT FIXTURE
 FAN TO OUTSIDE AIR
 CHIME
 PUSH BUTTON
 GAS RISER
 GAS STUB
 HORSE BID WITH BACKFLOW PREVENTION
 DEVICE
 HOSE BIBB
 SOV SHUT OFF VALVE
 BELL / BUZZER
 ELECTRICAL DISCONNECT
 DECORATIVE ABOVE MIRROR
 BATHROOM LIGHT
 CIRCUIT BREAKER
 KEY
 MOTION SENSOR
 CHANDELIER
 FLOOR SUPPLY AIR REGISTER
 CEILING SUPPLY AIR REGISTER
 FLORESCENTLIGHT FIXTURE (SURFACE) SEE PLAN
 CO DETECTORS U.L./SFMLISTED APPROVED

STAMPED FROM CITY

Reviewed for Code Compliance
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 Bana Divshali, P.E. (408) 535-8284
 No. 24-005988 & 24-006173 Date: 4/15/24

PROPOSAL FLOOR AND ELECTRIC PLAN
 13056 BROWN AVENUE,
 SAN JOSE, CA 95111

SECTION A-A

SECTION B-B

PROPOSAL FLOOR AND ELECTRIC PLAN
 SCALE: 1 / 4" = 1'-0"

LEGEND

LEGEND
 NEW WALL
 EXISTING WALL TO REMAIN
 EXISTING WALL TO BE REMOVED
 EXISTING OPENING TO BE ENCLOSED
 EXISTING WINDOW TO REMAIN
 EXISTING WINDOW TO BE ENCLOSED
 EXISTING DOORS TO REMAIN

A-6